

LOCUS MAP  
(NOT TO SCALE)

# MASTER PLAN SET

# SITE REDEVELOPMENT

## MAP 8, LOT 195, 1617 & 2711

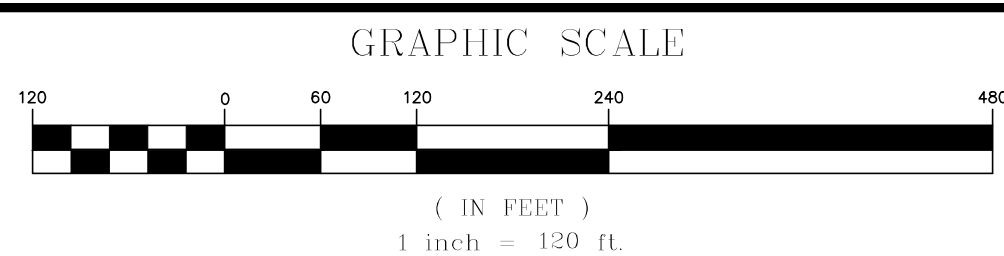
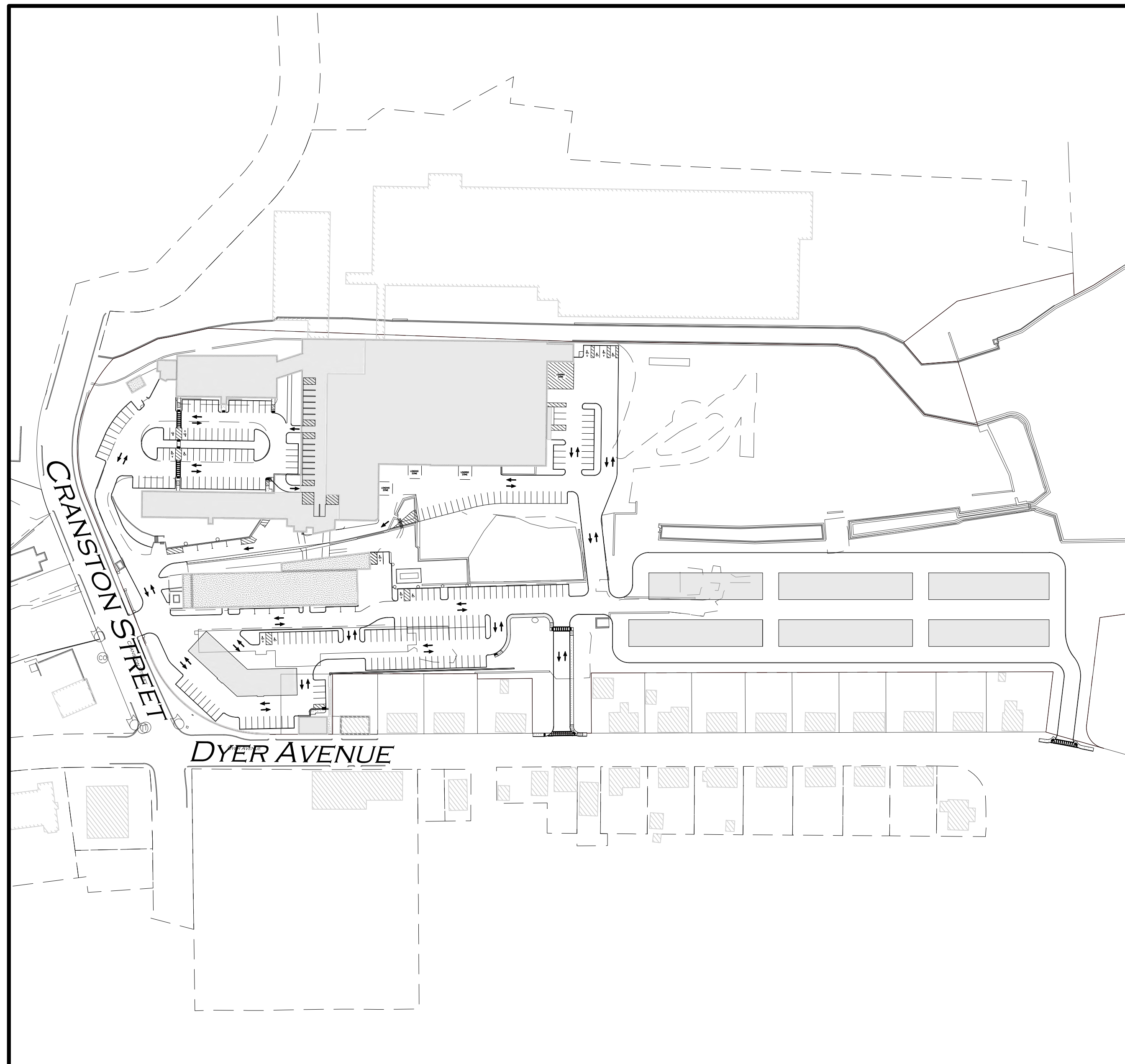
## 1381 CRANSTON STREET, CRANSTON, RI

**APPLICANT/OWNER:**  
 CPW TRUE STORAGE, LLC  
 670 N. COMMERCIAL STREET, SUITE 303  
 MANCHESTER, NH 03101  
 603-231-1936

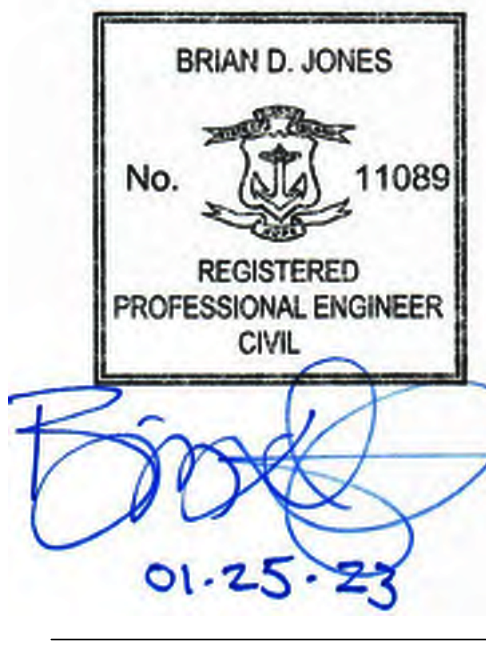
**LAND SURVEYOR, CIVIL ENGINEER &  
 LANDSCAPE ARCHITECT:**  
 ALLEN & MAJOR ASSOCIATES, INC.  
 100 COMMERCE WAY  
 WOBURN, MA 01888-0118  
 (781) 935-6889

**ARCHITECT**  
 TRUE STORAGE - ARCHITECTURE DEPARTMENT  
 670 N. COMMERCIAL ST.  
 MANCHESTER, NH 03101  
 603-622-6223

- PLAN NOTES:**
- EXISTING CONDITIONS ARE BASED UPON PLAN ENTITLED "EXISTING CONDITIONS - 1381 CRANSTON STREET - CRANSTON, RI" AS PREPARED BY ALLEN & MAJOR ASSOCIATES, INC.
  - THE NATURAL HERITAGE SURVEY HAS BEEN CHECKED AND IT IS VERIFIED THAT THERE IS NO ENDANGERED PLANTS OR ANIMALS IN OR AROUND THE PROJECT SITE.
  - THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AND STRUCTURES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF VARIOUS UTILITY COMPANIES AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THIS INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE LOCATION OF ALL UNDERGROUND UTILITIES AND STRUCTURES SHALL BE VERIFIED IN THE FIELD BY THE CONTRACTOR PRIOR TO THE START OF CONSTRUCTION.
  - THE CONTRACTOR MUST CONTACT THE APPROPRIATE UTILITY COMPANY, ANY GOVERNING PERMITTING AUTHORITY, AND "DIGSAFE" AT LEAST 72 HOURS PRIOR TO ANY EXCAVATION WORK. THE CONTRACTOR SHALL ALSO CONTACT THE CITY DEPARTMENT OF PUBLIC WORKS AT LEAST 72 HOURS PRIOR TO ANY EXCAVATION WORK TO REQUEST EXACT FIELD LOCATION OF LOCAL UTILITIES.



LIST OF DRAWINGS			
DRAWING TITLE	SHEET NO.	ISSUED	REV 1
COVER	C	01-25-23	-
EXISTING CONDITIONS	V-101	04-11-22	-
EXISTING CONDITIONS	V-102	04-11-22	-
EXISTING CONDITIONS	V-103	04-11-22	-
SITE PREPARATION PLAN	C-101	01-25-23	-
OVERALL LAYOUT & MATERIALS PLAN	C-102	01-25-23	-
LAYOUT & MATERIALS PLAN	C-102A	01-25-23	-
LAYOUT & MATERIALS PLAN	C-102B	01-25-23	-
LAYOUT & MATERIALS PLAN	C-102C	01-25-23	-
LAYOUT & MATERIALS PLAN	C-102D	01-25-23	-
LAYOUT & MATERIALS PLAN	C-102E	01-25-23	-
LAYOUT & MATERIALS PLAN	C-102F	01-25-23	-
OVERALL GRADING & DRAINAGE PLAN	C-103	01-25-23	-
GRADING & DRAINAGE PLAN	C-103A	01-25-23	-
GRADING & DRAINAGE PLAN	C-103B	01-25-23	-
GRADING & DRAINAGE PLAN	C-103C	01-25-23	-
GRADING & DRAINAGE PLAN	C-103D	01-25-23	-
GRADING & DRAINAGE PLAN	C-103E	01-25-23	-
GRADING & DRAINAGE PLAN	C-103F	01-25-23	-
OVERALL UTILITIES PLAN	C-104	01-25-23	-
UTILITIES PLAN	C-104A	01-25-23	-
UTILITIES PLAN	C-104B	01-25-23	-
UTILITIES PLAN	C-104C	01-25-23	-
UTILITIES PLAN	C-104D	01-25-23	-
UTILITIES PLAN	C-104E	01-25-23	-
UTILITIES PLAN	C-104F	01-25-23	-
TRUCK TURNING PLAN	C-106A	01-25-23	-
TRUCK TURNING PLAN	C-106B	01-25-23	-
DETAILS	C-501	01-25-23	-
DETAILS	C-502	01-25-23	-
DETAILS	C-503	01-25-23	-
DETAILS	C-504	01-25-23	-
OVERALL LANDSCAPING PLAN	L-101	01-25-23	-
LANDSCAPING PLAN	L-101A	01-25-23	-
LANDSCAPING PLAN	L-101B	01-25-23	-
LANDSCAPING PLAN	L-101C	01-25-23	-
LANDSCAPING PLAN	L-101D	01-25-23	-
LANDSCAPING PLAN	L-101E	01-25-23	-
LANDSCAPING PLAN	L-101F	01-25-23	-
LANDSCAPING DETAILS	L-501	01-25-23	-
LANDSCAPING DETAILS	L-502	01-25-23	-
OVERALL PROP. STORAGE FIRST FLR. PLAN	A1-1	12-12-22	-
OVERALL PROP. STORAGE SECOND FLR. PLAN	A1-2	12-12-22	-
OVERALL PROP. STORAGE THIRD FLR. PLAN	A1-3	12-12-22	-
OVERALL PROP. STORAGE FOURTH FLR. PLAN	A1-4	12-12-22	-



PROFESSIONAL ENGINEER FOR  
 ALLEN & MAJOR ASSOCIATES, INC.

APPLICANT/OWNER:  
 CPW TRUE STORAGE LLC  
 670 N. COMMERCIAL STREET, SUITE 303  
 MANCHESTER, NH 03101

PROJECT:  
 SITE REDEVELOPMENT  
 ASSESSORS MAP 8, LOTS 195, 1617 & 2711  
 1381 CRANSTON STREET - CRANSTON, RI

PROJECT NO. 2038-08 DATE: 01-25-2023  
 SCALE: DWG.: C-2038-08\_COVER  
 DESIGNED BY: JRG CHECKED BY: MAM

PREPARED BY:

**ALLEN & MAJOR ASSOCIATES, INC.**  
 civil engineering • land surveying  
 environmental consulting • landscape architecture  
 www.allenmajor.com  
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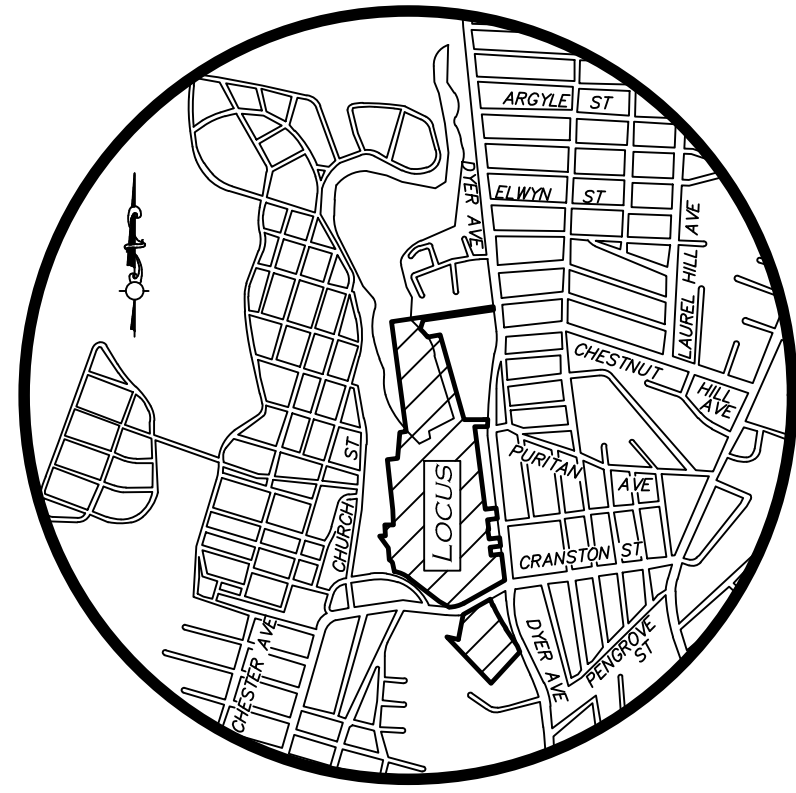
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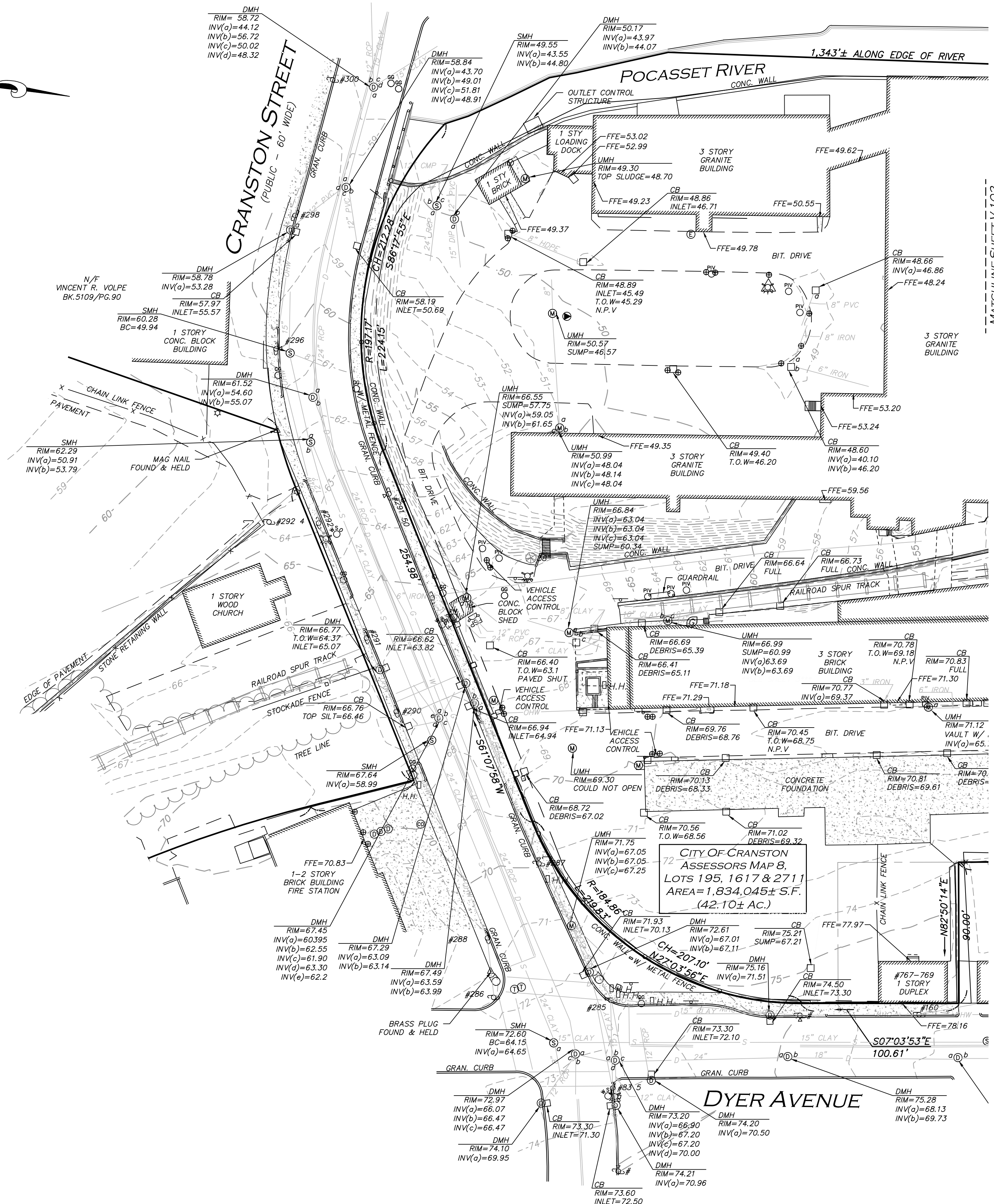
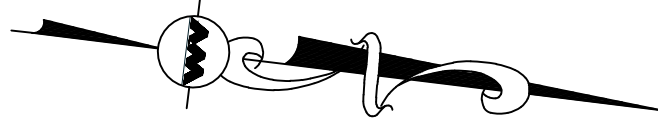
DRAWING TITLE: COVER SHEET No. C

ISSUED FOR MASTER PLAN REVIEW: JANUARY 25, 2023

R:\PROJECTS\2038-08\CIVIL\DRAWINGS\CURRENT\C-2038-08\_COVER.DWG



LOCUS MAP  
(NOT TO SCALE)



**LOCUS REFERENCES**

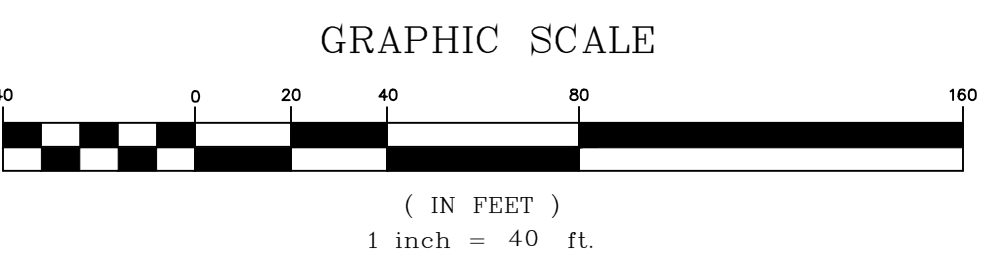
- CITY OF CRANSTON ASSESSORS MAP 8, LOTS 195, 203, 1617, 2711 & 2739
- RECORD OWNER: GABHALTAIS TEAGHLAIGH LLC, 1381 CRANSTON ASSOCIATES, INC.
- DEED BOOK 6300, PAGE 154
- PLAN ENTITLED, "ALTA/ACSM URBAN LAND TITLE SURVEY FOR CRANSTON PRINT WORKS COMPANY CRANSTON, RI", DATED APRIL, 1999, SCALE 1"=200' PREPARED BY BIBEAU AND FLORENTZ ASSOCIATES, INC.
- PLAN ENTITLED, "CRANSTON PRINT WORKS COMPANY, ASSESSORS PLAT 8, LOTS 203 & 2739 1388 & 1390 CRANSTON STREET & DYER AVENUE CRANSTON, RHODE ISLAND" DATED MAY, 2017, SCALE 1"=40' PREPARED BY NATIONAL SURVEYORS-DEVELOPERS, INC.
- PLAN NO. 911 AS FILED WITH THE CITY OF CRANSTON.

**UTILITY STATEMENT**

THE UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. ALLEN & MAJOR ASSOCIATES, INC. (A&M) MAKES NO GUARANTEE THAT THE UTILITIES SHOWN HEREOF COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. A&M FURTHER DOES NOT WARRANT THAT THE UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED. A&M HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES.

**NOTES**

1. NORTH ARROW IS BASED ON RHODE ISLAND STATE PLANE COORDINATE SYSTEM (NAD 83).
2. BOOK/PAGE AND PLAN REFERENCES ARE TAKEN FROM THE CITY OF CRANSTON, RI ASSESSORS DATABASE.
3. VERTICAL DATUM IS NAVD 88.
4. CONTOUR INTERVAL IS ONE FOOT (1').



WE HEREBY CERTIFY THAT:

THIS PLAN IS THE RESULT OF AN ACTUAL ON THE GROUND SURVEY PERFORMED ON OR BETWEEN MARCH 8, 2022 AND APRIL 12, 2022.

THIS SURVEY HAS BEEN CONDUCTED AND THE PLAN HAS BEEN PREPARED PURSUANT TO SECTION 9 OF THE RULES AND REGULATIONS ADOPTED BY THE RHODE ISLAND STATE BOARD OF REGISTRATION FOR PROFESSIONAL LAND SURVEYORS ON NOVEMBER 25, 2015 AS FOLLOWS:

TYPE OF BOUNDARY SURVEY: BOUNDARY SURVEY  
CLASS OF ACCURACY: HORIZONTAL - CLASS 1  
VERTICAL - V-1

THE PURPOSE FOR THE CONDUCT OF THE SURVEY AND FOR THE PREPARATION OF THE PLAN IS AS FOLLOWS: TO DOCUMENT EXISTING SITE TOPOGRAPHIC AND BOUNDARY CONDITIONS.

ALLEN & MAJOR ASSOCIATES, INC.

May 17, 2022  
NORMAN I. LIPSITZ, PLS 1772  
PROFESSIONAL LAND SURVEYOR FOR ALLEN & MAJOR ASSOCIATES, INC.



REV	DATE	DESCRIPTION

APPLICANT/OWNER:  
**BRADY SULLIVAN PROPERTIES**  
670 N. COMMERCIAL STREET, SUITE 303  
MANCHESTER, NH 03101

PROJECT:  
**1381 CRANSTON STREET**  
CRANSTON, RI

PROJECT NO. 2038-08 DATE: 04/11/22  
SCALE: 1" = 40' DWG. NAME: S-2038-08-EC  
DRAFTED BY: AJR CHECKED BY: NIL

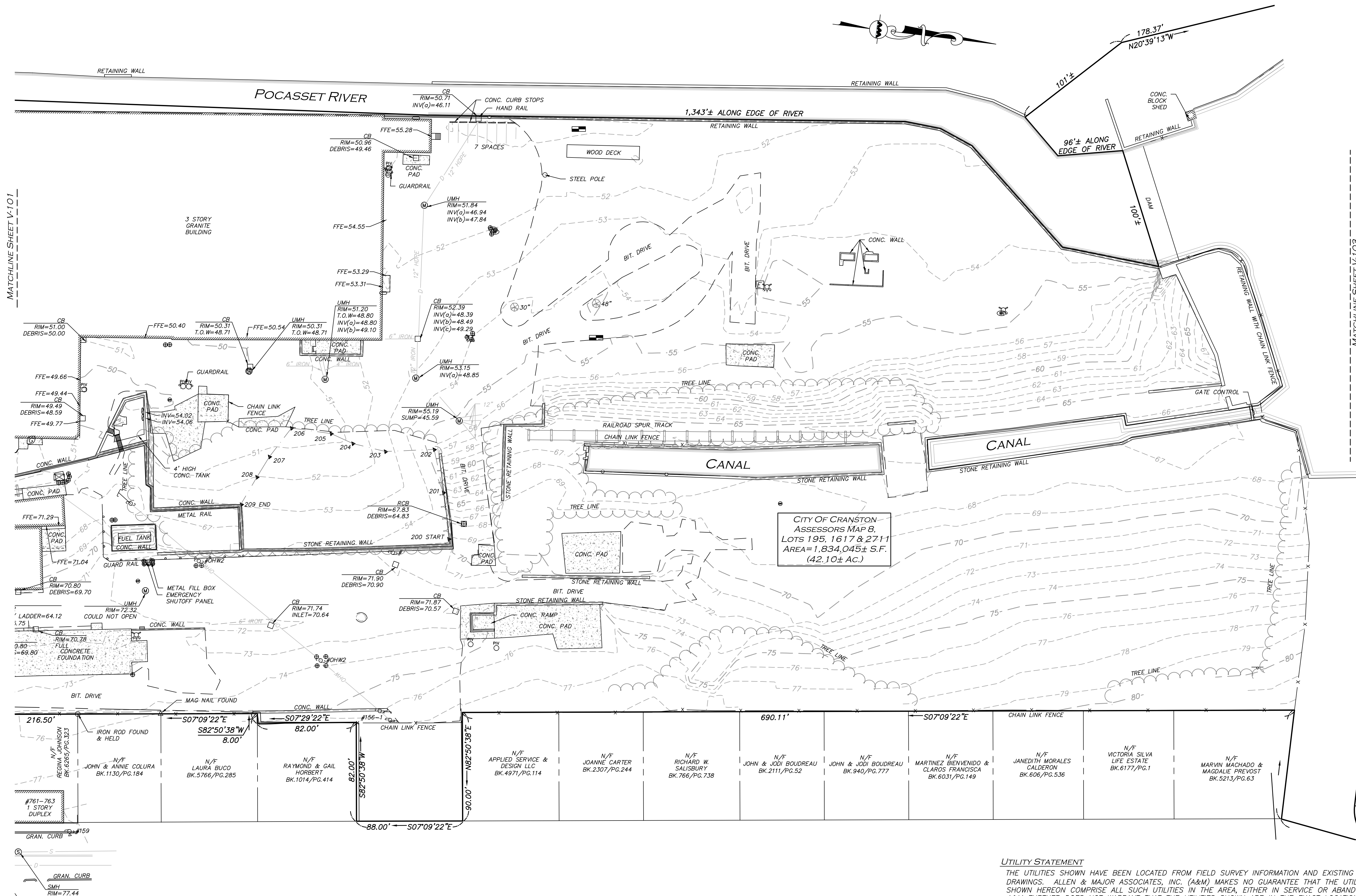
PREPARED BY:

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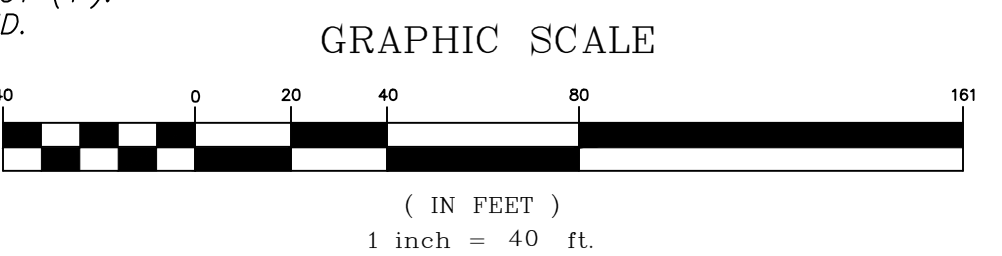
DRAWING TITLE: EXISTING CONDITIONS SHEET No. V-101



CITY OF CRANSTON  
ASSESSORS MAP 8,  
LOTS 195, 1617 & 2711  
AREA=1,834,045± S.F.  
(42.10± AC.)

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- NOTES**
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  3. VERTICAL DATUM IS NAVD 88.
  4. CONTOUR INTERVAL IS ONE FOOT (1').
  5. SEE SHEET V-103 FOR LEGEND.



**LOCUS REFERENCES**

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- RECORD OWNER: GABHALTAIS TEAGHLAIGH LLC, 1381 CRANSTON ASSOCIATES, INC.
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- PLAN ENTITLED, "ALTA/ACSM URBAN LAND TITLE SURVEY FOR CRANSTON PRINT WORKS COMPANY CRANSTON, RI", DATED APRIL, 1999, SCALE 1"=200' PREPARED BY BIBEALUT AND FLORENTZ ASSOCIATES, INC.
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- PLAN NO. 911 AS FILED WITH THE CITY OF CRANSTON.

WE HEREBY CERTIFY THAT:  
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THIS SURVEY HAS BEEN CONDUCTED AND THE PLAN HAS BEEN PREPARED PURSUANT TO SECTION 9 OF THE RULES AND REGULATIONS ADOPTED BY THE RHODE ISLAND STATE BOARD OF REGISTRATION FOR PROFESSIONAL LAND SURVEYORS ON NOVEMBER 25, 2015 AS FOLLOWS:

TYPE OF BOUNDARY SURVEY: BOUNDARY SURVEY  
CLASS OF ACCURACY: HORIZONTAL - CLASS 1  
VERTICAL - V-1

THE PURPOSE FOR THE CONDUCT OF THE SURVEY AND FOR THE PREPARATION OF THE PLAN IS AS FOLLOWS: TO DOCUMENT EXISTING SITE TOPOGRAPHIC AND BOUNDARY CONDITIONS.

ALLEN & MAJOR ASSOCIATES, INC.  
MAY 17, 2022



REV	DATE	DESCRIPTION

APPLICANT/OWNER:  
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PREPARED BY:

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DRAWING TITLE: EXISTING CONDITIONS SHEET No. V-102

**LOCUS REFERENCES**

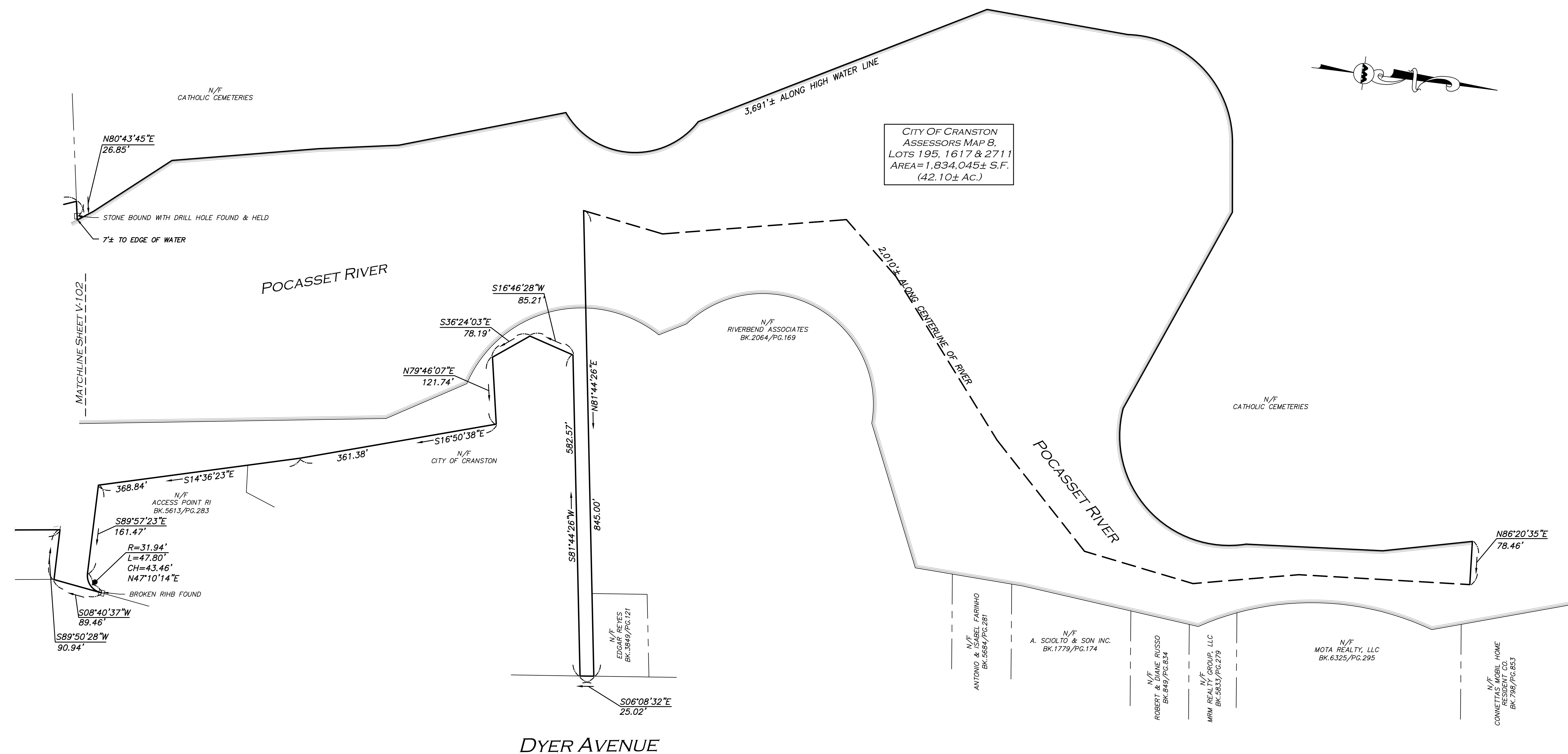
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**NOTES**

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**LEGEND**

STONE BOUND (SB)	□	BOLLARD	⊙	BUILDING OVERHANG	-----	GAS LINE	—G—
IRON PIPE (IP)	○	CLEANOUT	⊕	EASEMENT LINE	----	ELECTRIC LINE	—E—
IRON ROD (IR)	◊	INVERT (INV)	⊖	1' CONTOUR	---53---	TELEPHONE LINE	—T—
PK NAIL	△	LIGHT	⊛	5' CONTOUR	---55---	OVERHEAD WIRES	—OHW—
DRAIN MANHOLE (DMH)	⊙	VENT	⊙	PROPERTY LINE	----	FINISHED FLOOR ELEVATION	FFE
SEWER MANHOLE (SMH)	⊙	DOWNSPOUT	⊖	ABUTTERS LINE	----	BITUMINOUS	BIT.
MISC. MANHOLE (MH)	⊙	FLAG POLE	⊙	TREE LINE	~~~~~	CONCRETE	CONC.
TELEPHONE MANHOLE (TMH)	⊙	TRANSFORMER	⊙	EDGE OF PAVEMENT	====	GRANITE	GRAN.
CATCH BASIN (CB)	□	TEST PIT LOCATION	⊖	EDGE OF WATER	====	BOTTOM CENTER	(BC)
UTILITY POLE	⊙	SIGN	⊖	CURB	====	REINFORCED CONCRETE PIPE	RCP
UTILITY POLE W/LIGHT	⊙	HAND HOLE	⊙	CHAIN LINK FENCE	—x—	POLYVINYL CHLORIDE PIPE	PVC
GUY WIRE		ELECTRIC BOX	⊙	STOCKADE FENCE	—o—	CORRUGATED METAL PIPE	CMP
FIRE HYDRANT	⊙	GAS METER	⊙	METAL FENCE	—o—	CAST IRON PIPE	CI
FIRE STANDPIPE	⊙	TRAFFIC MAST	⊙	GUARDRAIL	—x—	DUCTILE IRON PIPE	DI
WATER SERVICE	⊙	PARKING SPACE COUNT	⊙	WATER LINE	—W—	NOW OR FORMERLY	N/F
WATER GATE	⊙	CONCRETE	⊙	SEWER LINE	—S—	BOOK	BK.
GAS GATE	⊙	BUILDING	⊙	DRAIN LINE	—D—	PAGE	PG.



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May 17, 2022

NORMAN I. LIPSITZ, PLS 1772  
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REV	DATE	DESCRIPTION

APPLICANT/OWNER:  
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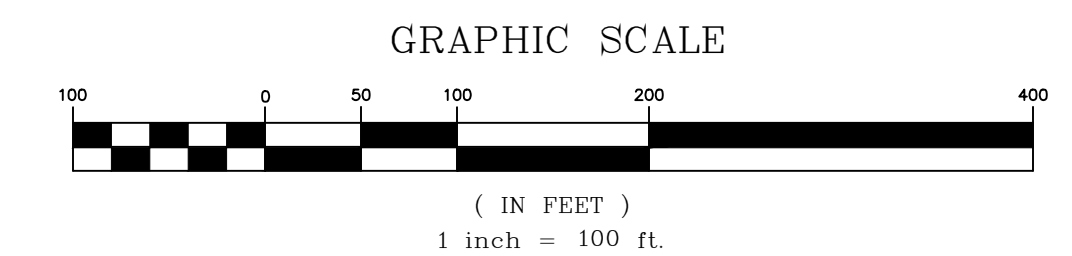
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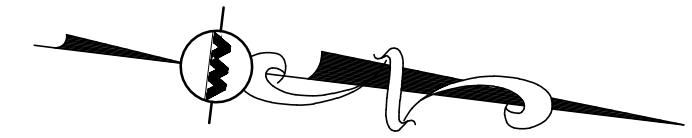
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DRAWING TITLE: EXISTING CONDITIONS SHEET No. V-103

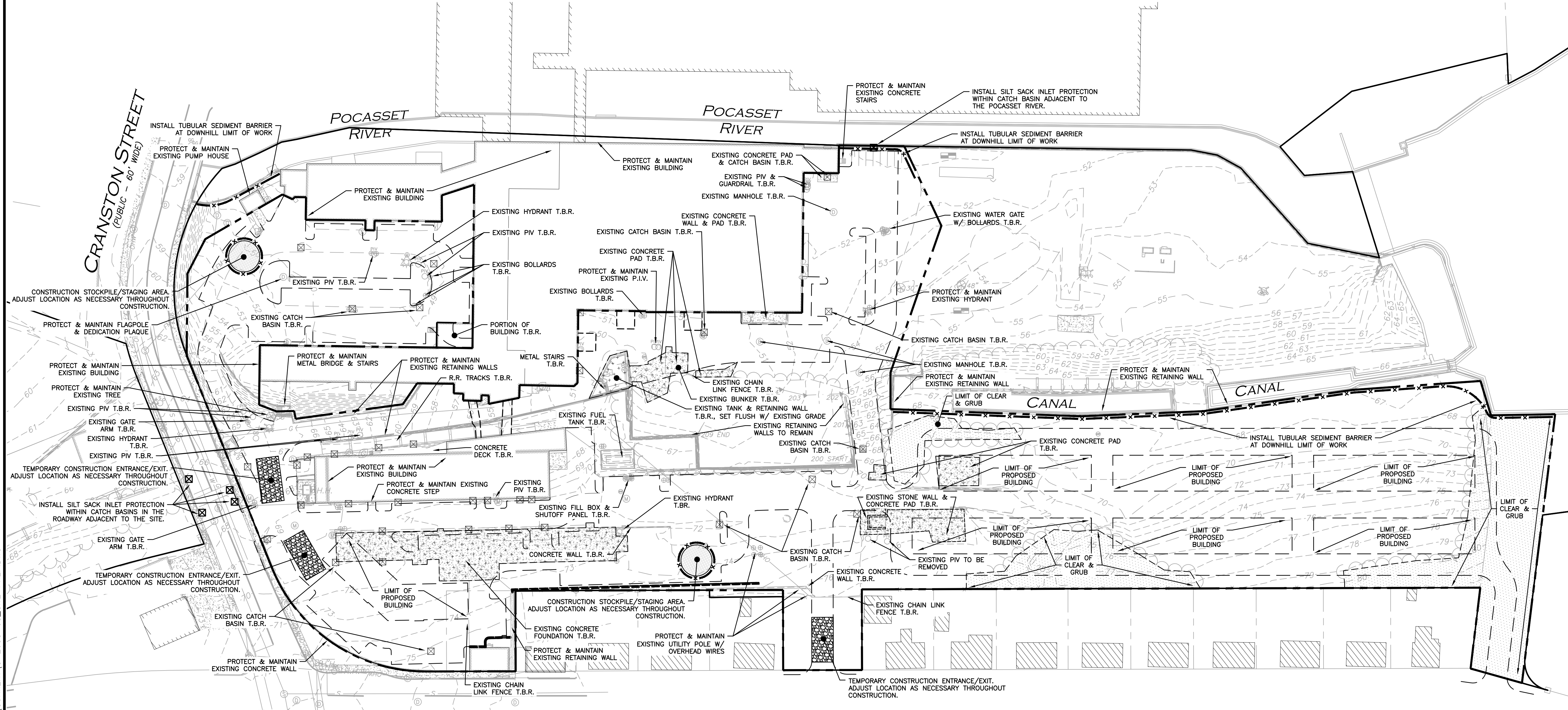


**GENERAL NOTES:**

1. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AND STRUCTURES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF VARIOUS UTILITY COMPANIES AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THIS INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE LOCATION OF ALL UNDERGROUND UTILITIES AND STRUCTURES SHALL BE VERIFIED IN THE FIELD BY THE CONTRACTOR PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR MUST CONTACT THE APPROPRIATE UTILITY COMPANY, ANY GOVERNING PERMITTING AUTHORITY, AND "DIGSAFE" AT LEAST 72 HOURS PRIOR TO ANY EXCAVATION WORK TO REQUEST EXACT FIELD LOCATION OF UTILITIES.
2. THE ENGINEER SHALL BE NOTIFIED IN WRITING OF ANY UTILITIES INTERFERING WITH THE PROPOSED CONSTRUCTION AND APPROPRIATE REMEDIAL ACTION TAKEN BEFORE PROCEEDING WITH THE WORK. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
3. ALTHOUGH CERTAIN ITEMS HAVE BEEN NOTED ON THIS DRAWING FOR DEMOLITION, NO ATTEMPT HAS BEEN MADE TO DELINEATE EACH AND EVERY ITEM THAT REQUIRES DEMOLITION FOR THE COMPLETION OF THE PROJECT. THE CONTRACTOR WILL BE RESPONSIBLE FOR ALL NECESSARY DEMOLITION WORK TO COMPLETE THE PROJECT. ALLEN & MAJOR ASSOCIATES, INC. IS NOT RESPONSIBLE FOR SITE DEMOLITION ITEMS NOT SHOWN ON THE SURVEY OR SPECIFICALLY NOTED. THE DEMOLITION NOTES AND ARROWS ON THIS PLAN ARE TYPICAL AND DO NOT REFLECT QUANTITY.
4. WRITTEN DIMENSIONS ON THIS PLAN TAKE PRECEDENCE OVER SCALED DIMENSIONS. THE CONTRACTOR SHALL USE CAUTION WHEN SCALING REPRODUCED PLANS. IN THE EVENT OF A CONFLICT BETWEEN THIS PLAN SET AND ANY OTHER DRAWINGS AND/OR SPECIFICATIONS OR CONDITIONS, THE ENGINEER SHALL BE NOTIFIED BY THE CONTRACTOR.
5. IF SOILS WHICH ARE SUSPECTED TO BE CONTAMINATED ARE ENCOUNTERED DURING CONSTRUCTION, THEN THE APPLICANT MUST CONTACT RIDEM OFFICE OF LAND REVITALIZATION AND SUSTAINABLE MATERIALS MANAGEMENT.
6. ALL CONSTRUCTION SHALL CONFORM TO THE APPLICABLE REGULATIONS AND STANDARDS INCLUDING THE CITY, RIDEM, RIDEM, MUTCD, AND AASHTO. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR THE MEANS AND METHODS OF CONSTRUCTION AND FOR CONDITIONS AT THE SITE. THESE PLANS, PREPARED BY ALLEN & MAJOR ASSOCIATES DO NOT EXTEND TO OR INCLUDE SYSTEMS PERTAINING TO THE SAFETY OF THE CONSTRUCTION CONTRACTOR OR THEIR EMPLOYEES, AGENTS OR REPRESENTATIVES IN THE PERFORMANCE OF THE WORK, OR THE OWNER'S EMPLOYEES, CUSTOMERS, OR THE GENERAL PUBLIC. THE SEAL OF THE ENGINEER AS INCLUDED IN THE PLAN SET DOES NOT EXTEND TO ANY SUCH SAFETY SYSTEMS THAT MAY NOW OR HEREAFTER BE INCORPORATED INTO THESE PLANS. THE CONSTRUCTION CONTRACTOR SHALL PROVIDE THE APPROPRIATE SAFETY SYSTEMS WHICH MAY BE REQUIRED BY THE U.S. OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA), STATE, AND LOCAL REGULATIONS.
7. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL RELOCATIONS, INCLUDING BUT NOT LIMITED TO, ALL UTILITIES, STORM DRAINAGE, SIGNS, TRAFFIC SIGNALS & POLES, ETC. AS REQUIRED. ALL WORK SHALL BE IN ACCORDANCE WITH THE CITY'S GOVERNING AUTHORITY'S SPECIFICATIONS AND SHALL BE APPROVED BY SUCH. ALL COSTS SHALL BE INCLUDED IN BASE BID.
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9. THE CONTRACTOR MUST CONTACT THE APPROPRIATE UTILITY COMPANY, ANY GOVERNING PERMITTING AUTHORITY, AND "DIGSAFE" AT LEAST 72 HOURS PRIOR TO ANY EXCAVATION WORK. THE CONTRACTOR SHALL ALSO CONTACT THE CITY DEPARTMENT OF PUBLIC WORKS AT LEAST 72 HOURS PRIOR TO ANY EXCAVATION WORK TO REQUEST EXACT FIELD LOCATION OF LOCAL UTILITIES.
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11. THE DESIGN ENGINEER WAIVES ANY AND ALL RESPONSIBILITY AND LIABILITY FOR PROBLEMS WHICH ARISE FROM FAILURE TO FOLLOW THESE PLANS, SPECIFICATIONS, AND/OR THE DESIGN INTENT THEY CONVEY, OR FOR PROBLEMS WHICH ARISE FROM OTHERS' FAILURE TO OBTAIN AND/OR FOLLOW THE GUIDANCE OF THE DESIGN ENGINEER WITH RESPECT TO ANY ERRORS, OMISSIONS, INCONSISTENCIES, AMBIGUITIES, OR CONFLICTS WHICH ARE DISCOVERED OR ALLEGED.
12. ALL MONITORING WELLS ARE TO BE COMPLETELY REMOVED. IF ANY MONITORING WELL IS TO BE LEFT IN PLACE, A CERTIFIED WELL DRILLER WILL NEED TO DECOMMISSION THE WELL AND FILE A WELL REPORT WITH THE RHODE ISLAND DEPARTMENT OF ENVIRONMENTAL MANAGEMENT. NOT ALL MONITORING WELLS ARE SHOWN ON THIS DRAWING.



LEGEND	
TUBULAR BARRIER	- x - x -
CATCH BASIN FILTER	☒
STABILIZED ENTRANCE	▨
STOCKPILE/STAGING AREA	▨
LIMIT OF DISTURBANCE	- - - - -
BUILDING TO BE REMOVED	▨
CONCRETE TO BE REMOVED	▨
CATCH BASIN T.B.R.	☒
LIMIT OF 'CLEAR AND GRUB'	- - - - -



*Brian D. Jones*  
01-25-23

PROFESSIONAL ENGINEER FOR ALLEN & MAJOR ASSOCIATES, INC.

REV	DATE	DESCRIPTION

APPLICANT/OWNER:  
CPW TRUE STORAGE LLC  
670 N. COMMERCIAL STREET, SUITE 303  
MANCHESTER, NH 03101

PROJECT:  
**SITE REDEVELOPMENT**  
ASSESSORS MAP 8, LOTS 195, 1617 & 2711  
1381 CRANSTON STREET - CRANSTON, RI

PROJECT NO. 2038-08 DATE: 01-25-2023

SCALE: 1" = 60' DWG.: C-2038-08\_SITE-PREP

DESIGNED BY: JRG CHECKED BY: MAM

PREPARED BY:



**ALLEN & MAJOR ASSOCIATES, INC.**

civil engineering • land surveying  
environmental consulting • landscape architecture  
www.allenmajor.com  
100 COMMERCE WAY, SUITE 5  
WOBURN MA 01801  
TEL: (781) 935-6889  
FAX: (781) 935-2896

WOBURN, MA • LAKEVILLE, MA • MANCHESTER, NH

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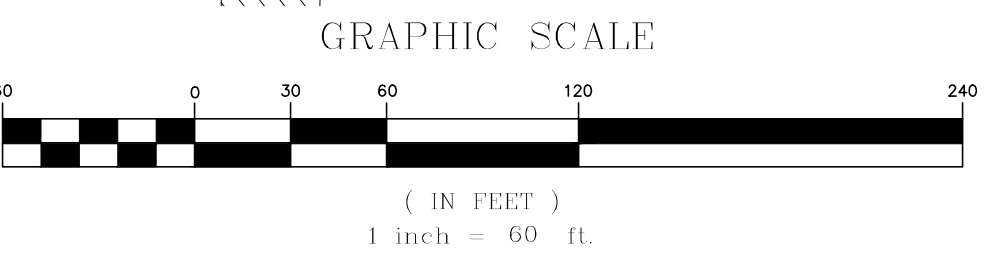
DRAWING TITLE: SHEET No.

**SITE PREPARATION PLAN C-101**

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1-888-344-7233



ZONING SUMMARY TABLE INDUSTRIAL (M-1) DISTRICT		
ITEM	REQUIRED	PROPOSED
MINIMUM LOT AREA	30,000 SF	1,834,045± SF
MINIMUM LOT WIDTH	150 FT	489± FT
MINIMUM FRONTAGE	150 FT	800± FT
FRONT YARD SETBACK	40 FT	38± FT (EXISTING)
REAR YARD SETBACK	30 FT	1,928± FT
SIDE YARD SETBACK	20 FT	0.9± FT (EXISTING)
MAXIMUM LOT COVERAGE	60%	6.9%
MAXIMUM BUILDING HEIGHT	35 FT	48± FT (EXISTING)
TOTAL UPLAND AREA	N/A	42.4%

PARKING SUMMARY TABLE			
PER CHAPTER 17.64 - OFF-STREET PARKING	REQUIRED PARKING	PROPOSED PARKING	
SELF-STORAGE: 99,920± SF GFA (BUILDING B - 601 UNITS)			
ITE DEMAND RATIO*: MIN. 1.36 SPACE / 100 UNIT - MAX. 2.35 SPACE/ 100 UNIT	8	8	
PROPOSED SELF-STORAGE: 52,200± SF GFA (256 UNITS)			
ITE DEMAND RATIO*: MIN. 1.36 SPACE / 100 UNIT - MAX. 2.35 SPACE/ 100 UNIT	4	4	
MULTI-FAMILY DWELLING UNITS: 129 UNITS			
2 SPACES / DWELLING UNIT	258	258	
TOTAL PARKING PROVIDED:		270	

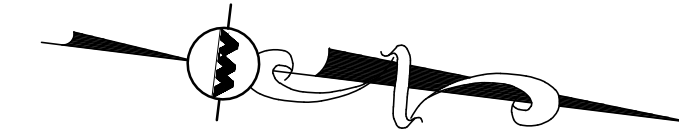
TABLE NOTES:

\* 5TH EDITION OF THE PARKING GENERATION MANUAL PUBLISHED BY THE INSTITUTE OF TRANSPORTATION ENGINEERS (ITE). THE LATEST EDITION OF THE PARKING GENERATION MANUAL WAS PUBLISHED IN JANUARY 2019 AND INCLUDES PARKING DEMAND DATA FOR SELF-STORAGE FACILITIES, A USE WHICH ITE CLASSIFIES AS A "MINI-WAREHOUSE"

ADA SPACES REQUIRED:  
(201-300) TOTAL PARKING SPACES PROVIDED, 7 SHALL BE THE MINIMUM ADA PARKING PROVIDED, 2 SPACE BEING VAN ACCESSIBLE.

PROVIDED: 12 SPACES, 6 SPACES BEING VAN ACCESSIBLE.

LEGEND	
PROPERTY LINE	---
SIGN	⊥
BOLLARD	•
BUILDING	▭
CURB	—
RETAINING WALL	—
PARKING STRIPING	▨
ROADWAY STRIPING	▨
TRAFFIC ARROWS	→
HEAVY DUTY CONCRETE	▨
SIDEWALK	▨
ADA ACCESSIBLE RAMP	▨
SETBACK LINE	---
SAW-CUT LINE	---
PARKING COUNT	⊙
STEEL GUARDRAIL	—
CHAIN LINK FENCE	— x —
PEDESTRIAN GUARDRAIL	—



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*Brian D. Jones*  
01-25-23

PROFESSIONAL ENGINEER FOR  
ALLEN & MAJOR ASSOCIATES, INC.

REV	DATE	DESCRIPTION

APPLICANT/OWNER:  
**CPW TRUE STORAGE LLC**  
670 N. COMMERCIAL STREET, SUITE 303  
MANCHESTER, NH 03101

PROJECT:  
**SITE REDEVELOPMENT**  
ASSESSORS MAP 8, LOTS 195, 1617 & 2711  
1381 CRANSTON STREET - CRANSTON, RI

PROJECT NO.	2038-08	DATE:	01-25-2023
SCALE:	1" = 80'	DWG.:C2038-08_LAYOUT & MATERIALS	
DESIGNED BY:	JRG	CHECKED BY:	MAM

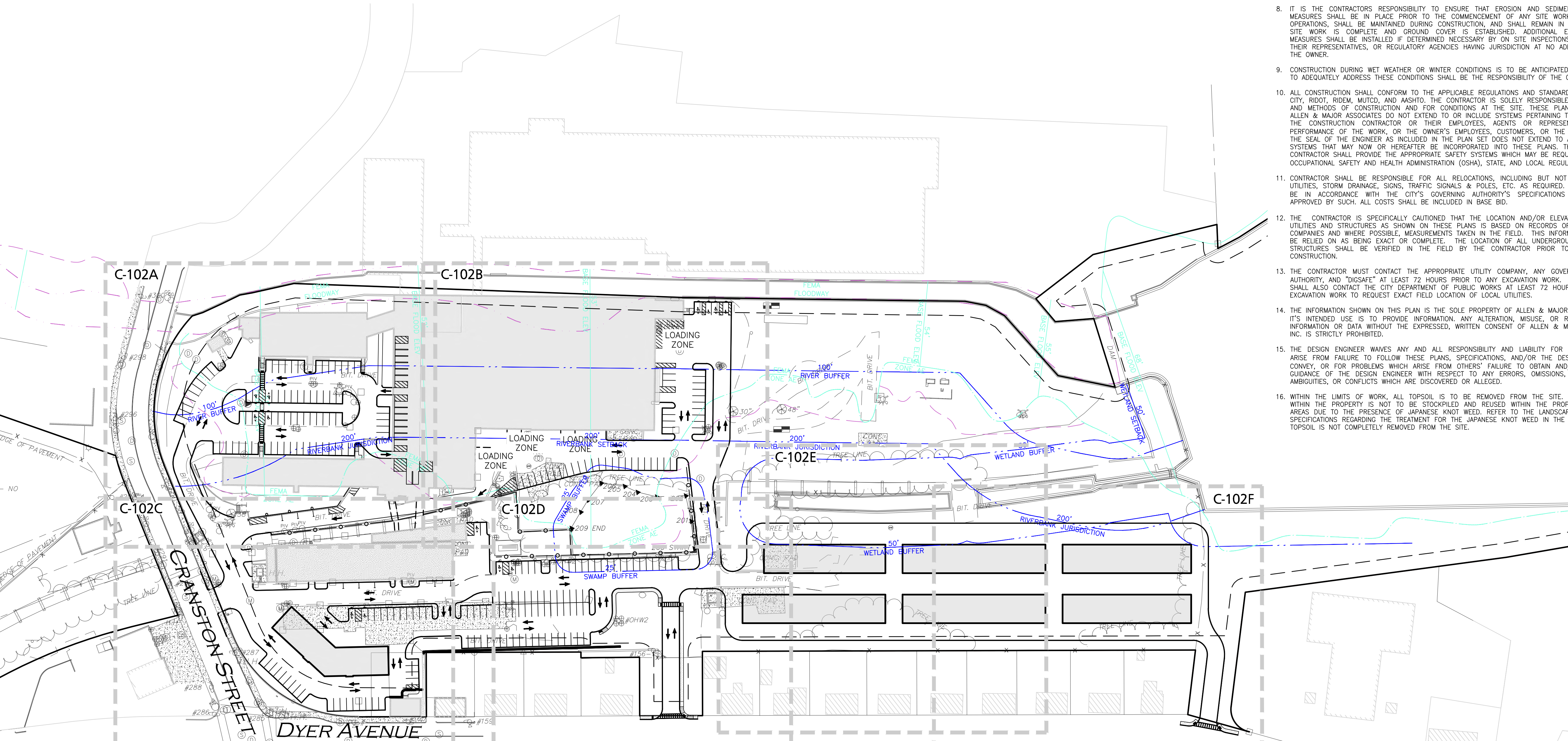
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**ALLEN & MAJOR ASSOCIATES, INC.**  
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www.allenmajor.com  
100 COMMERCE WAY, SUITE 5  
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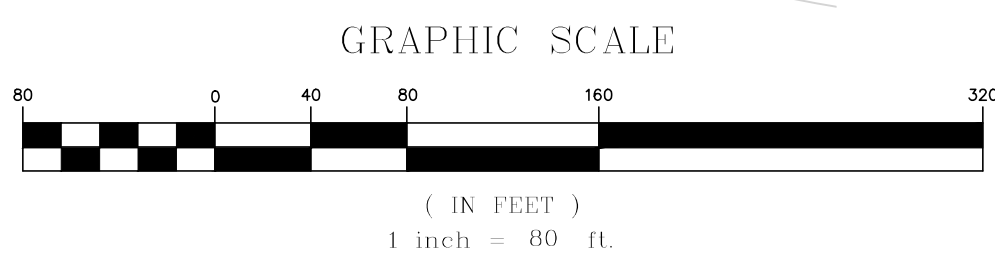
DRAWING TITLE:	SHEET No.
LAYOUT & MATERIALS PLAN	C-102

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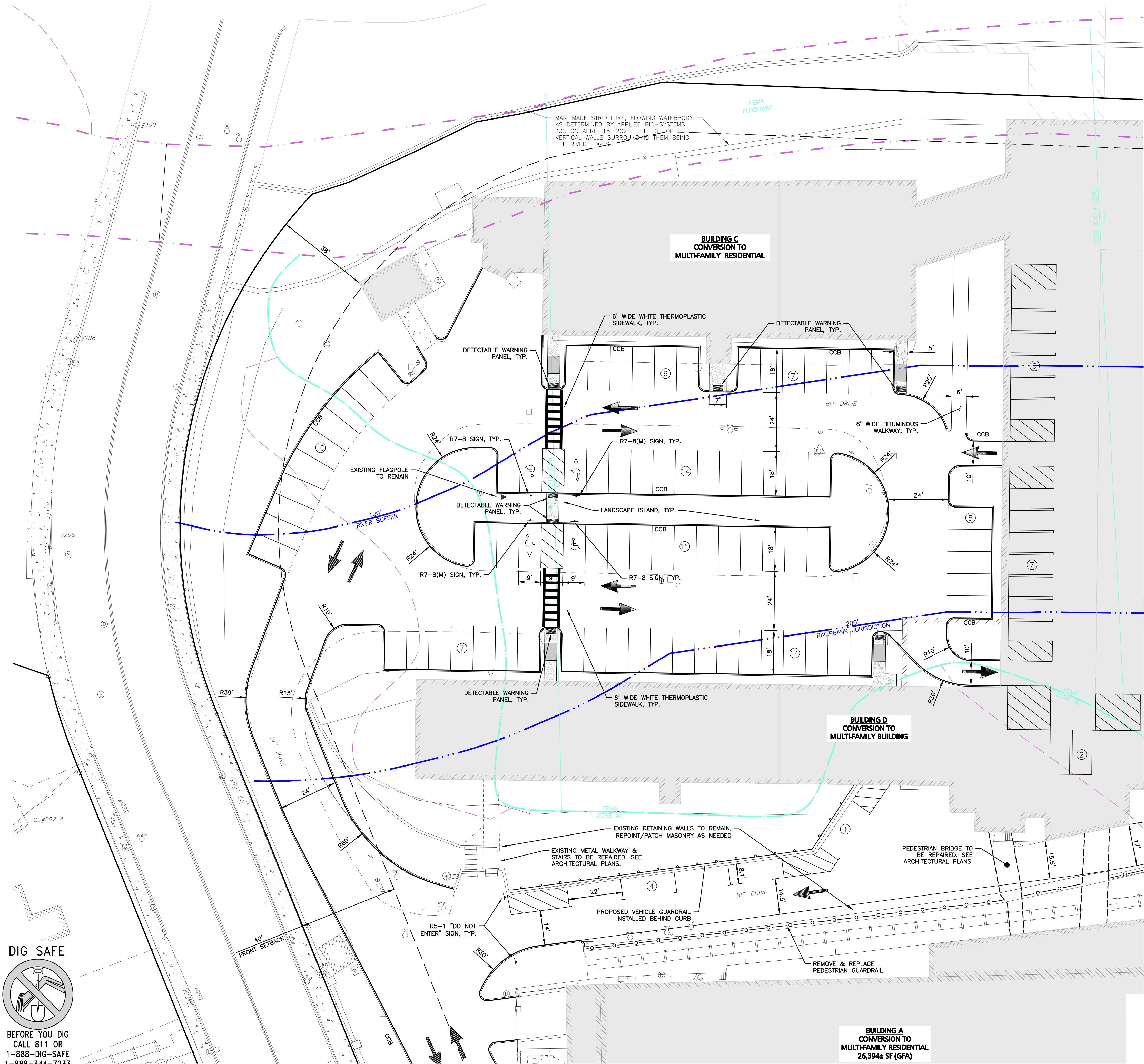
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1-888-344-7233



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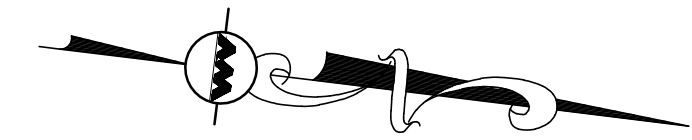


**LEGEND**

PROPERTY LINE	---
SIGN	— T —
BOLLARD	•
BUILDING	▒
CURB	—
RETAINING WALL	—
PARKING STRIPING	▨
ROADWAY STRIPING	▧
TRAFFIC ARROWS	→
HEAVY DUTY CONCRETE	▩
SIDEWALK	▨
ADA ACCESSIBLE RAMP	▧
SETBACK LINE	—
SAW-CUT LINE	—
PARKING COUNT	⑩
STEEL GUARDRAIL	— X —
CHAIN LINK FENCE	— X —
PEDESTRIAN GUARDRAIL	— X —

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ALLEN & MAJOR ASSOCIATES, INC.

REV	DATE	DESCRIPTION

APPLICANT/OWNER:  
**CPW TRUE STORAGE LLC**  
670 N. COMMERCIAL STREET, SUITE 303  
MANCHESTER, NH 03101

PROJECT:  
**SITE REDEVELOPMENT**  
ASSESSORS MAP 8, LOTS 195, 1617 & 2711  
1381 CRANSTON STREET - CRANSTON, RI

PROJECT NO.	2038-08	DATE:	01-25-2023
SCALE:	1" = 20'	DWG.:	C2038-08_LAYOUT & MATERIALS
DESIGNED BY:	JRG	CHECKED BY:	MAM



**ALLEN & MAJOR ASSOCIATES, INC.**  
civil engineering • land surveying  
environmental consulting • landscape architecture  
www.allenmajor.com  
100 COMMERCE WAY, SUITE 5  
WOBURN MA 01801  
TEL: (781) 935-6889  
FAX: (781) 935-2896

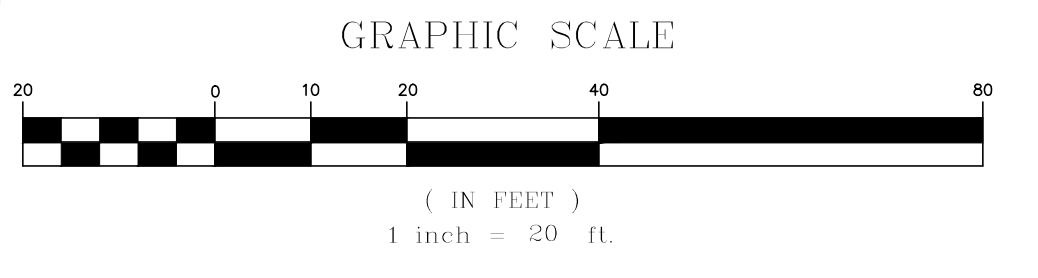
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DRAWING TITLE:	SHEET No.
LAYOUT & MATERIALS PLAN	C-102A

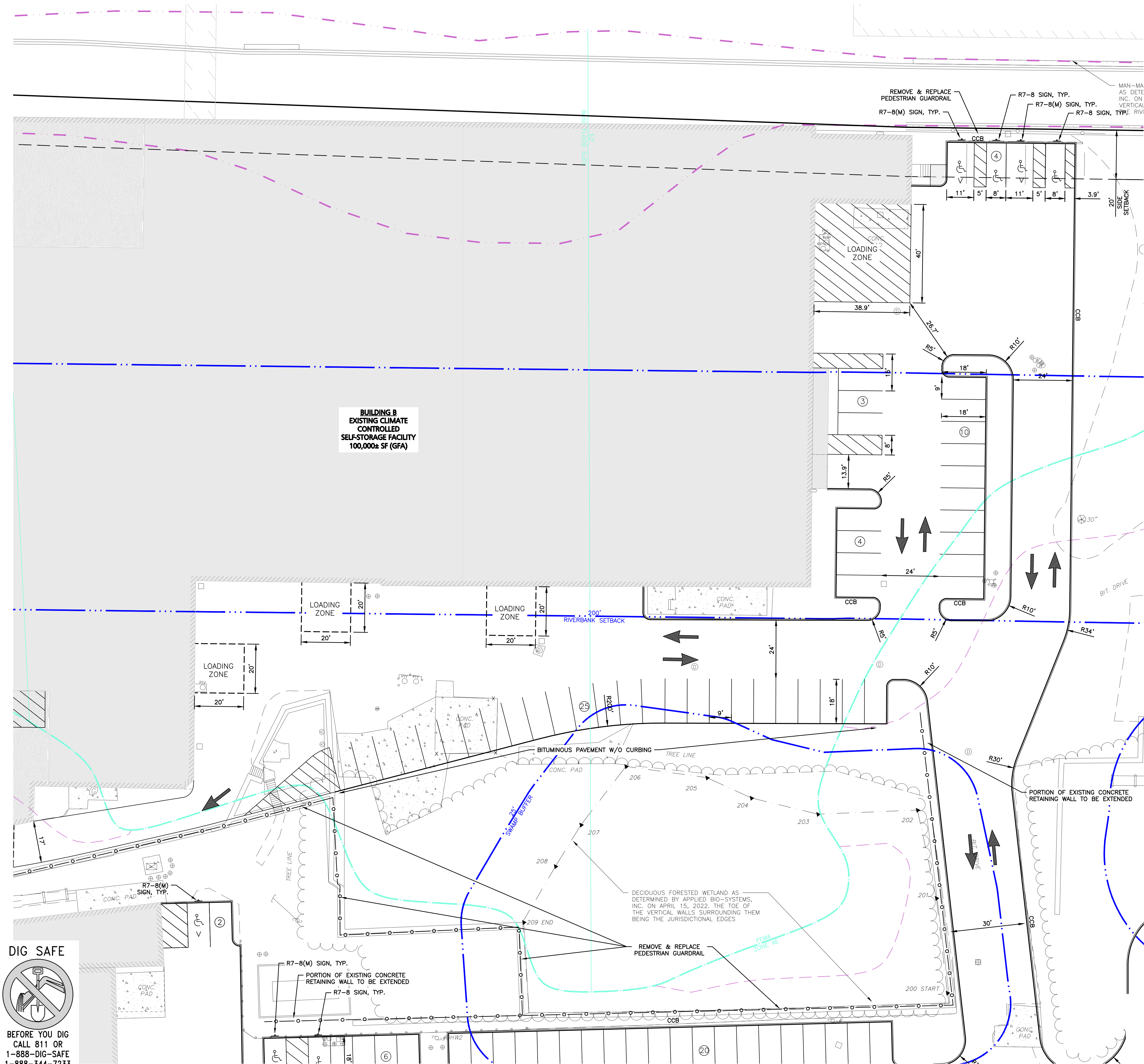
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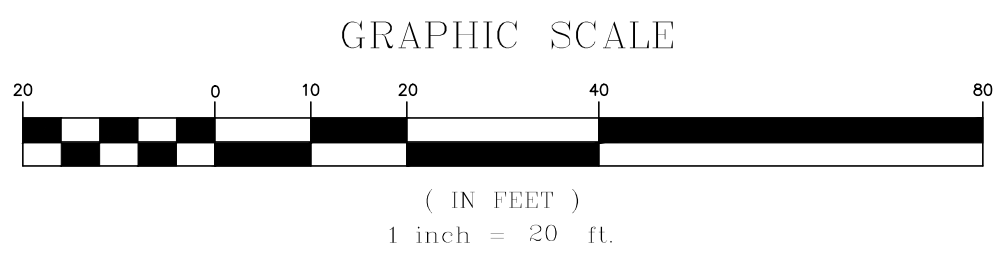
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LEGEND	
PROPERTY LINE	---
SIGN	⊕
BOLLARD	•
BUILDING	▭
CURB	—
RETAINING WALL	▨
PARKING STRIPING	▨
ROADWAY STRIPING	▨
TRAFFIC ARROWS	→
HEAVY DUTY CONCRETE	▨
SIDEWALK	▨
ADA ACCESSIBLE RAMP	▨
SETBACK LINE	---
SAW-CUT LINE	---
PARKING COUNT	⑩
STEEL GUARDRAIL	—x—
CHAIN LINK FENCE	—x—
PEDESTRIAN GUARDRAIL	—x—

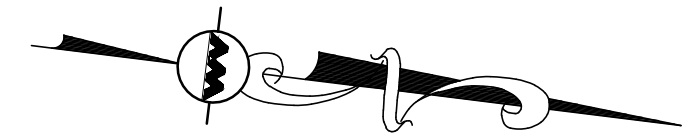
**GENERAL NOTES:**

1. ANY DAMAGE TO PRIVATE OR PUBLIC PROPERTIES DUE TO THE CONTRACTOR'S ACTIVITIES SHALL BE REPAIRED AND RESTORED BY THE CONTRACTOR AT THEIR OWN EXPENSE.
2. THE ENGINEER SHALL BE NOTIFIED IN WRITING OF ANY UTILITIES INTERFERING WITH THE PROPOSED CONSTRUCTION AND APPROPRIATE REMEDIAL ACTION TAKEN BEFORE PROCEEDING WITH THE WORK. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
3. ALL PROPERTY MARKERS AND STREET LINE MONUMENTS SHALL BE PROPERLY PROTECTED DURING CONSTRUCTION. ANY DAMAGE TO THESE ITEMS SHALL BE REPAIRED AND RESTORED BY A SURVEYOR REGISTERED IN THE STATE OF RHODE ISLAND AT THE CONTRACTOR'S EXPENSE.
4. THE CONTRACTOR IS RESPONSIBLE FOR SCHEDULING A PRE-CONSTRUCTION MEETING WITH THE CITY, THE APPROPRIATE UTILITY COMPANIES, THE OWNER AND OWNER'S REPRESENTATIVE. THE MEETING SHALL TAKE PLACE PRIOR TO THE START OF CONSTRUCTION AND THE CONTRACTOR MUST PROVIDE 48 HOURS NOTICE TO ALL ATTENDEES PRIOR TO THE START OF THE MEETING.
5. APPROPRIATE WARNING SIGNS, MARKERS, BARRICADES AND/OR FLAGMEN SHALL BE PROVIDED TO REGULATE TRAFFIC. CONSTRUCTION TRAFFIC CONTROL SHALL BE IMPLEMENTED PER THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) AND THE LOCAL AUTHORITY.
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8. IT IS THE CONTRACTOR'S RESPONSIBILITY TO ENSURE THAT EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE IN PLACE PRIOR TO THE COMMENCEMENT OF ANY SITE WORK OR EARTHWORK OPERATIONS. THESE MEASURES SHALL BE MAINTAINED DURING CONSTRUCTION, AND SHALL REMAIN IN PLACE UNTIL ALL SITE WORK IS COMPLETE AND GROUND COVER IS ESTABLISHED. ADDITIONAL EROSION CONTROL MEASURES SHALL BE INSTALLED IF DETERMINED NECESSARY BY ON-SITE INSPECTIONS BY THE OWNER, THEIR REPRESENTATIVES, OR REGULATORY AGENCIES HAVING JURISDICTION AT NO ADDITIONAL COST TO THE OWNER.
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13. THE CONTRACTOR MUST CONTACT THE APPROPRIATE UTILITY COMPANY, ANY GOVERNING PERMITTING AUTHORITY, AND "DIGSAFE" AT LEAST 72 HOURS PRIOR TO ANY EXCAVATION WORK. THE CONTRACTOR SHALL ALSO CONTACT THE CITY DEPARTMENT OF PUBLIC WORKS AT LEAST 72 HOURS PRIOR TO ANY EXCAVATION WORK TO REQUEST EXACT FIELD LOCATION OF LOCAL UTILITIES.
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SELF-STORAGE FACILITY  
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BRIAN D. JONES  
No. 11089  
REGISTERED PROFESSIONAL ENGINEER  
CIVIL

*Brian D. Jones*  
01-25-23

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DESIGNED BY: JRG CHECKED BY: MAM

PREPARED BY:

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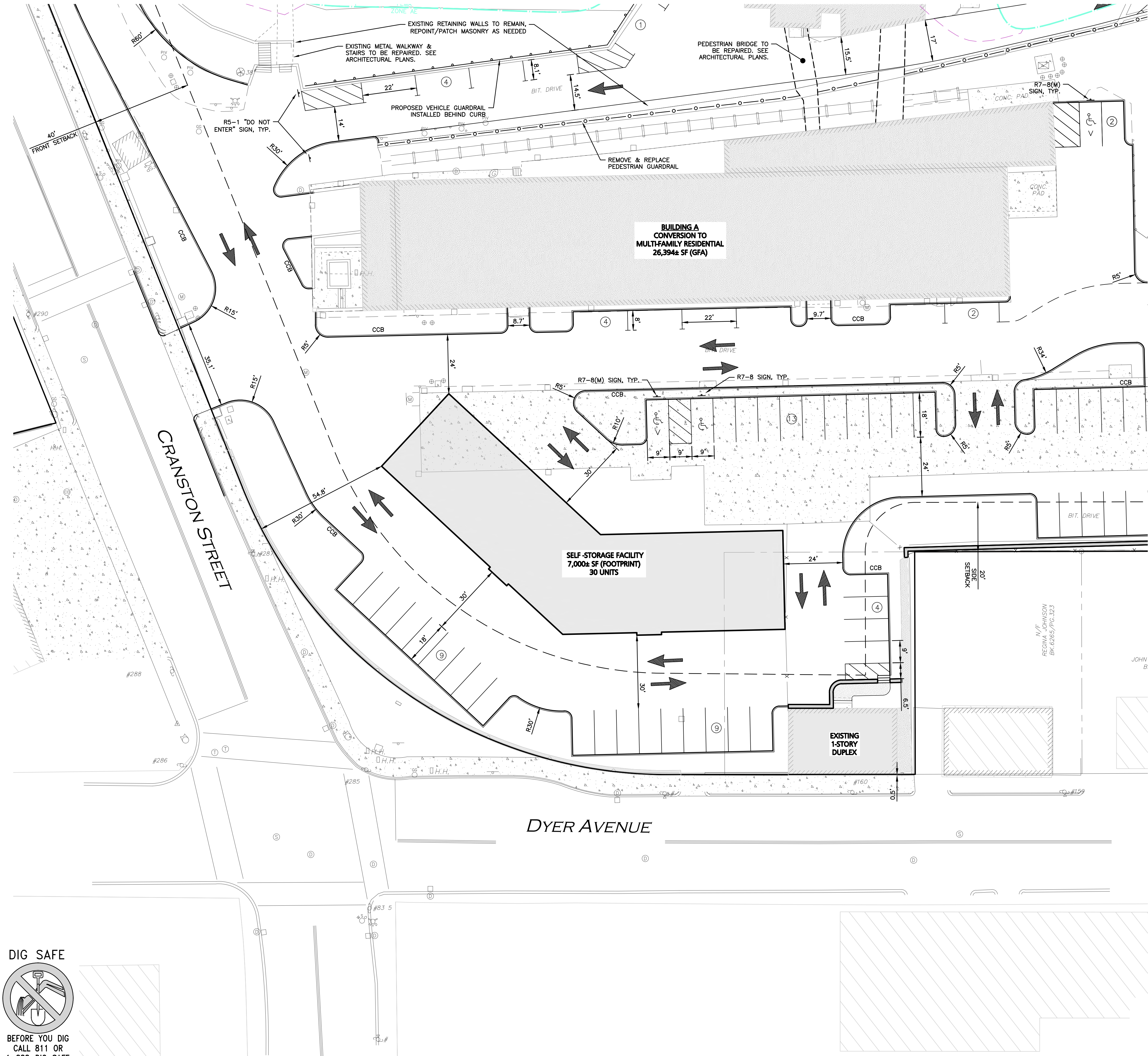
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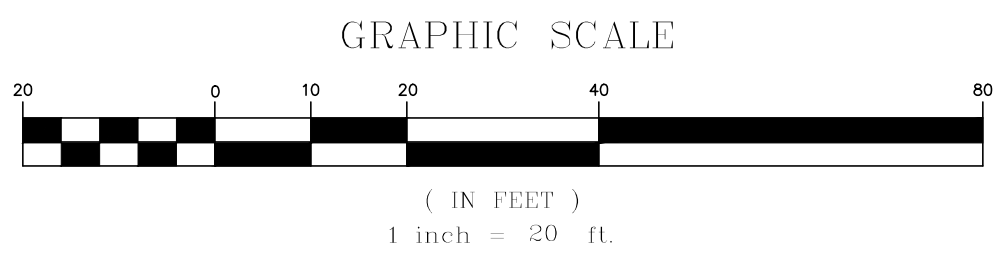


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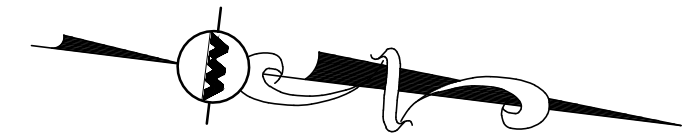


LEGEND	
PROPERTY LINE	---
SIGN	⊥
BOLLARD	•
BUILDING	▭
CURB	—○—
RETAINING WALL	▨
PARKING STRIPING	▨
ROADWAY STRIPING	▨
TRAFFIC ARROWS	→
HEAVY DUTY CONCRETE	▨
SIDEWALK	▨
ADA ACCESSIBLE RAMP	▨
SETBACK LINE	---
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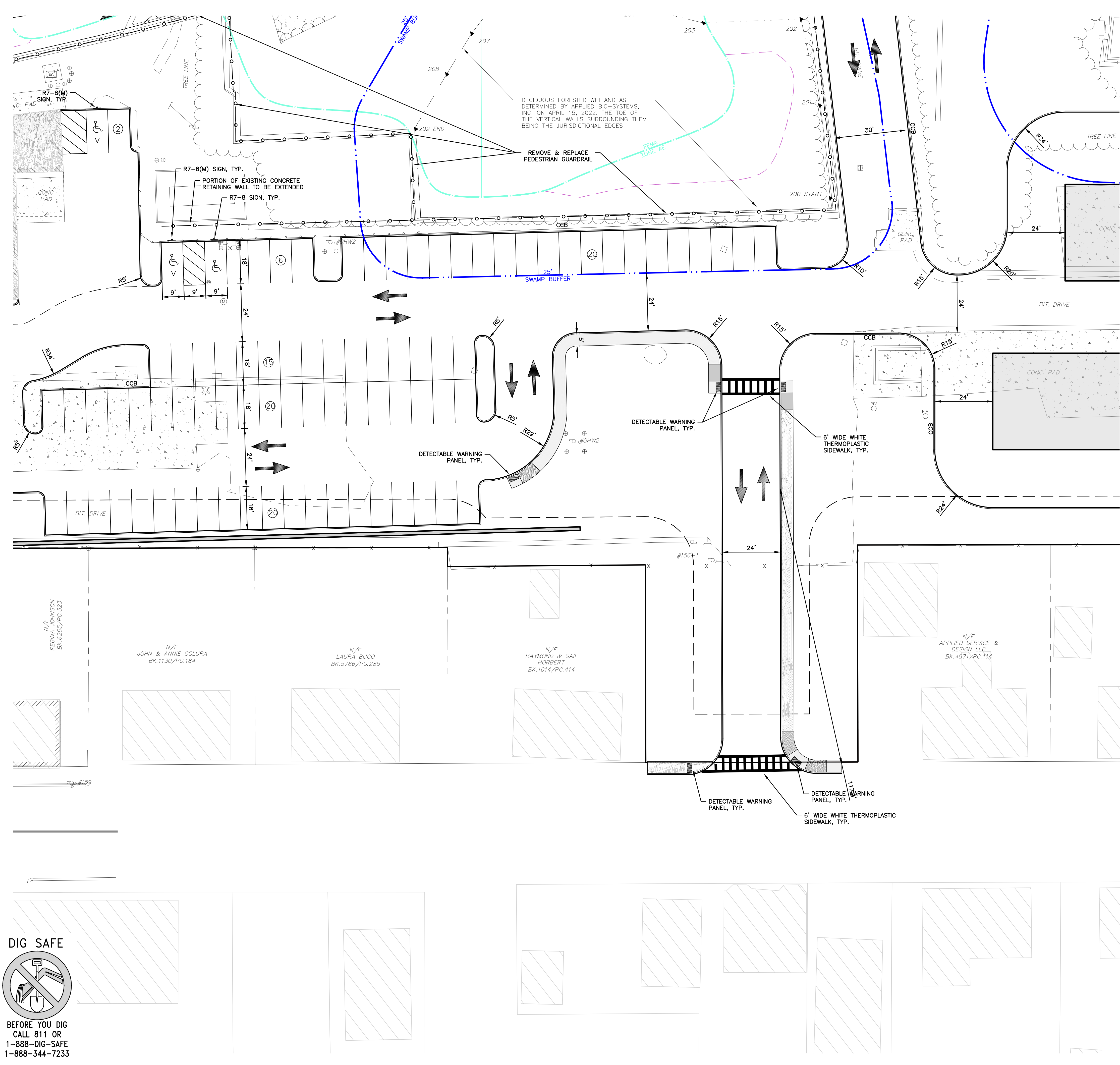
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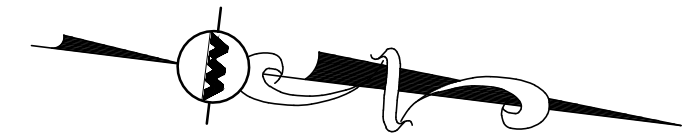
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LEGEND	
PROPERTY LINE	---
SIGN	⊕
BOLLARD	•
BUILDING	[Hatched Box]
CURB	—
RETAINING WALL	[Hatched Box]
PARKING STRIPING	[Hatched Box]
ROADWAY STRIPING	[Hatched Box]
TRAFFIC ARROWS	→
HEAVY DUTY CONCRETE	[Hatched Box]
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*Brian D. Jones*  
01-25-23

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REV	DATE	DESCRIPTION

APPLICANT/OWNER:  
**CPW TRUE STORAGE LLC**  
670 N. COMMERCIAL STREET, SUITE 303  
MANCHESTER, NH 03101

PROJECT:  
**SITE REDEVELOPMENT**  
ASSESSORS MAP 8, LOTS 195, 1617 & 2711  
1381 CRANSTON STREET - CRANSTON, RI

PROJECT NO.	2038-08	DATE:	01-25-2023
SCALE:	1" = 20'	DWG.:	C2038-08_LAYOUT & MATERIALS
DESIGNED BY:	JRG	CHECKED BY:	MAM

PREPARED BY:

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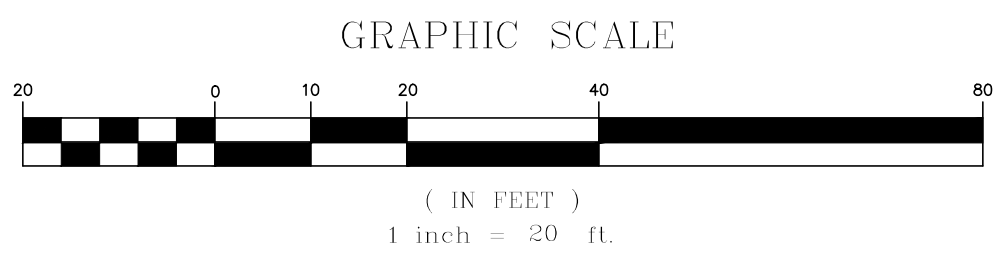
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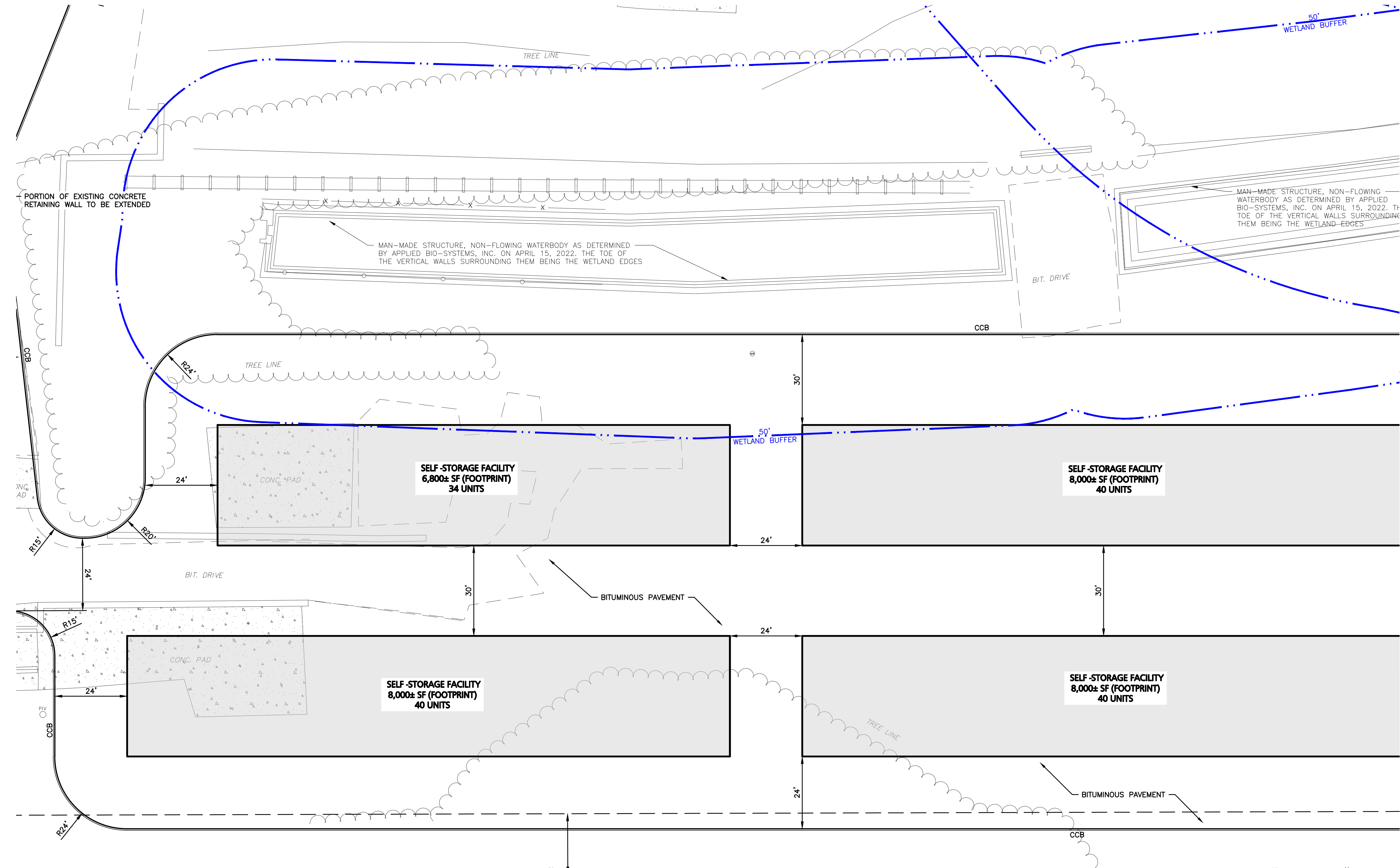
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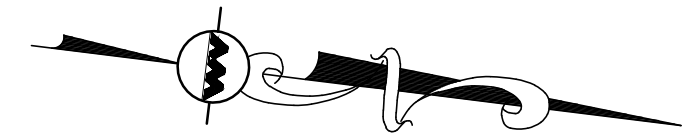
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LEGEND	
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SIGN	—
BOLLARD	•
BUILDING	▭
CURB	—
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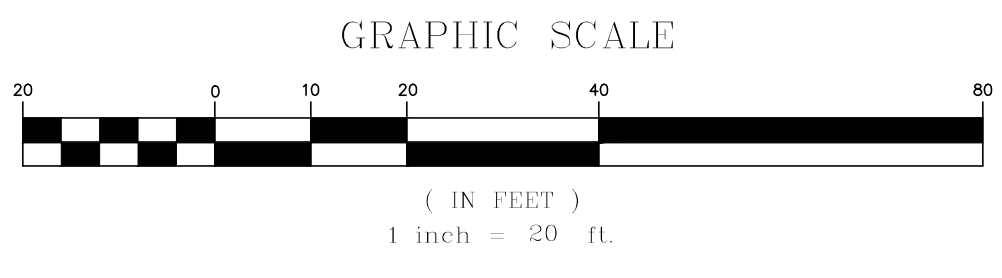
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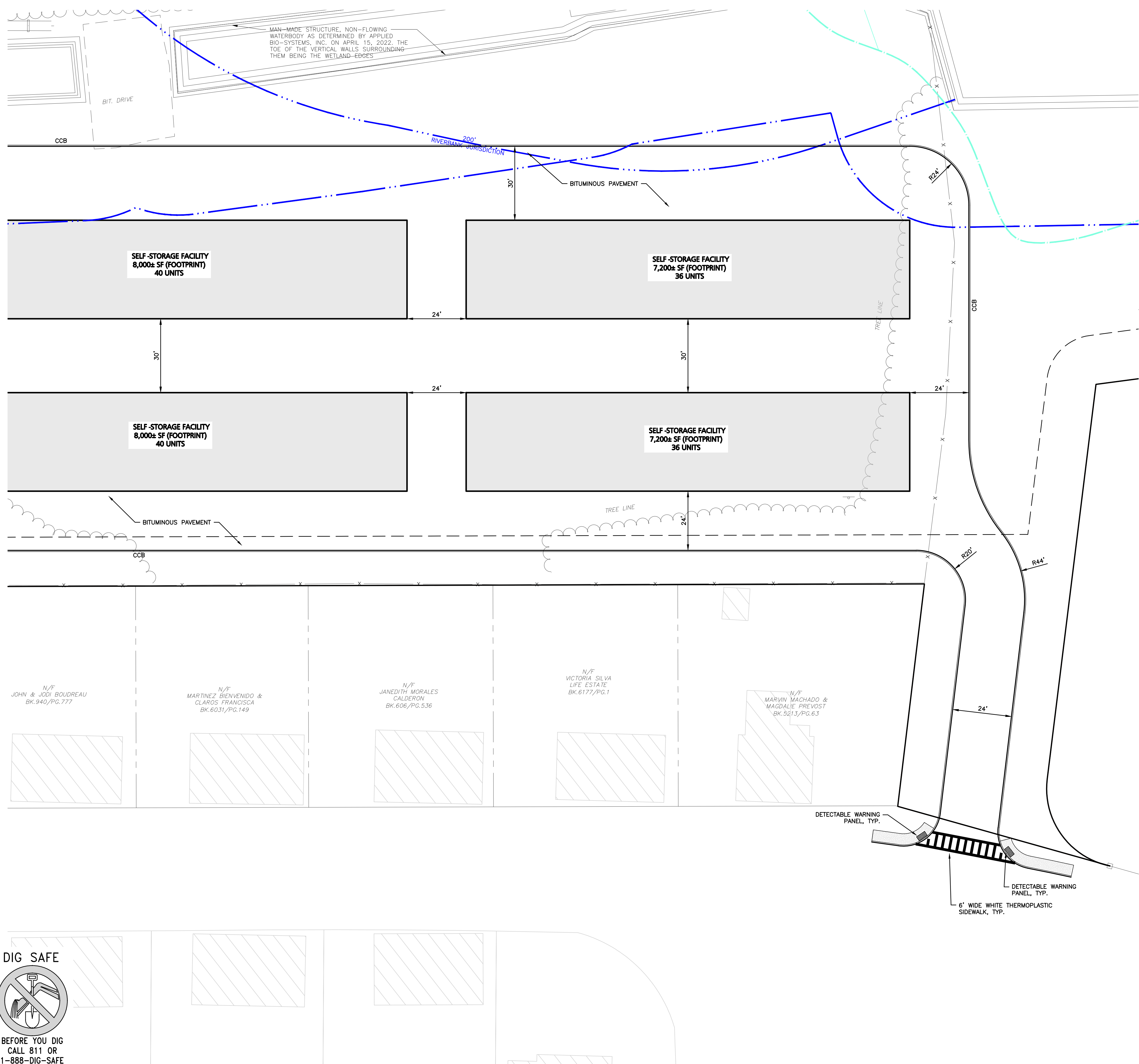
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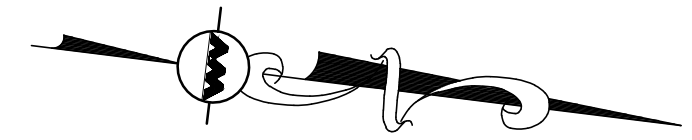
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LEGEND	
PROPERTY LINE	---
SIGN	—
BOLLARD	•
BUILDING	▭
CURB	—
RETAINING WALL	—
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